

RADNOR MARTIN

L O N D O N & T H E C O T S W O L D S

FLAT 11

HILLCREST 51-57 | LADBROKE GROVE



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HILLCREST 51-57 | LADBROKE GROVE
W11 3AX

'a bright and generously proportioned two-bedroom flat with a private balcony'

two-bedroom flat | modern development with lift access | ideally located
private balcony | communal gardens | close to local shops and amenities
good transport links

service charge

Annual service charge £3,045.00

Annual sinking fund £2,071.00

the finer details

services Mains water, drainage and electricity. Gas central heating.

tenure & possession Share of freehold and offers vacant possession

fixtures & fittings May be acquired by separate negotiation

local authority Kensington and Chelsea

council tax Band F

viewing arrangements By appointment with Radnor Martin

energy performance certificate Energy Performance rating – C

what three words ///this.jobs.jobs

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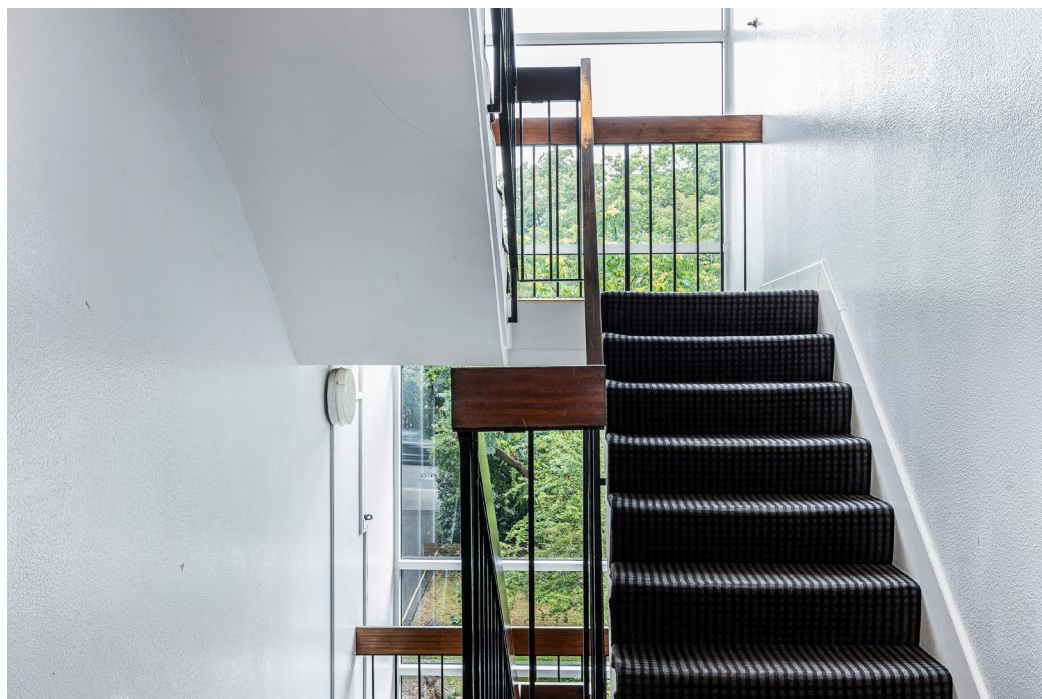


description

A bright and generously proportioned two-bedroom flat with a private balcony, located on the second floor of a well-regarded modern development with lift access, set back from Ladbrooke Grove. The flat is presented in fair order and features two double bedrooms (one with ensuite bathroom), shower room, guest WC, kitchen, and a spacious reception room opening onto a private balcony. Residents enjoy access to beautifully maintained communal gardens at the front and the rear of the property; the property also includes a private storeroom on the lower ground floor.

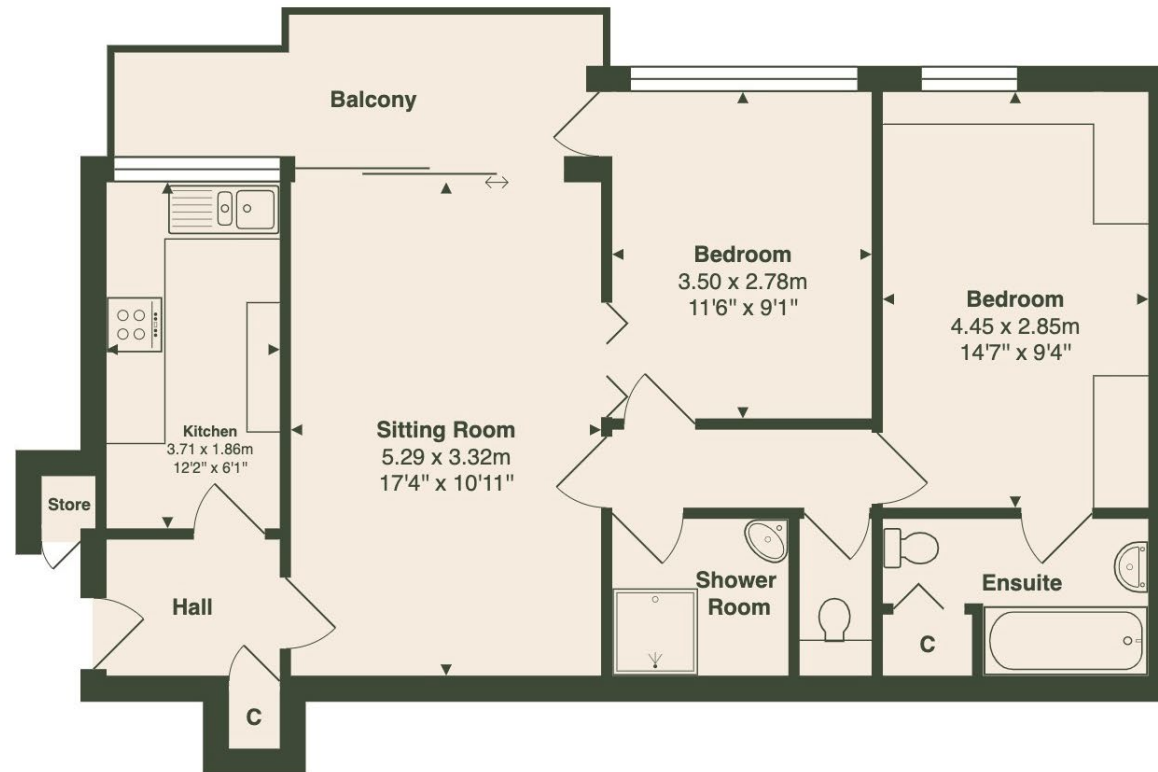
area

Hillcrest is ideally situated near Holland Park and Notting Hill Gate Underground Stations, providing easy access to Central London. The apartment building is situated in a private position, on a picturesque and quiet street just a short walk away from Portobello Road. The vibrant shops and restaurants of Notting Hill and Westbourne Grove are nearby, with Kensington Gardens and Hyde Park also within walking distance.





Lower Ground Floor



Second Floor

Approximate Gross Internal Area

65.4 m² ... 704 ft² (excluding balcony, store)

Whilst every attempt has been made to ensure the accuracy of the floor plan contained here, measurements of doors, windows, rooms, and any other items are approximate. No responsibility is taken for any error, omission, or mis-statement. This plan is for illustrative purpose only and should be used as such.
Drawn by E8 Property Services. www.e8ps.co.uk



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